

DISCLOSURE PLAN
PROPOSED LOT 1

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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Contour Interval – 0.25 metre

Design Contours
Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

HW 1.0
LW 0.2
AW 0.6
Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

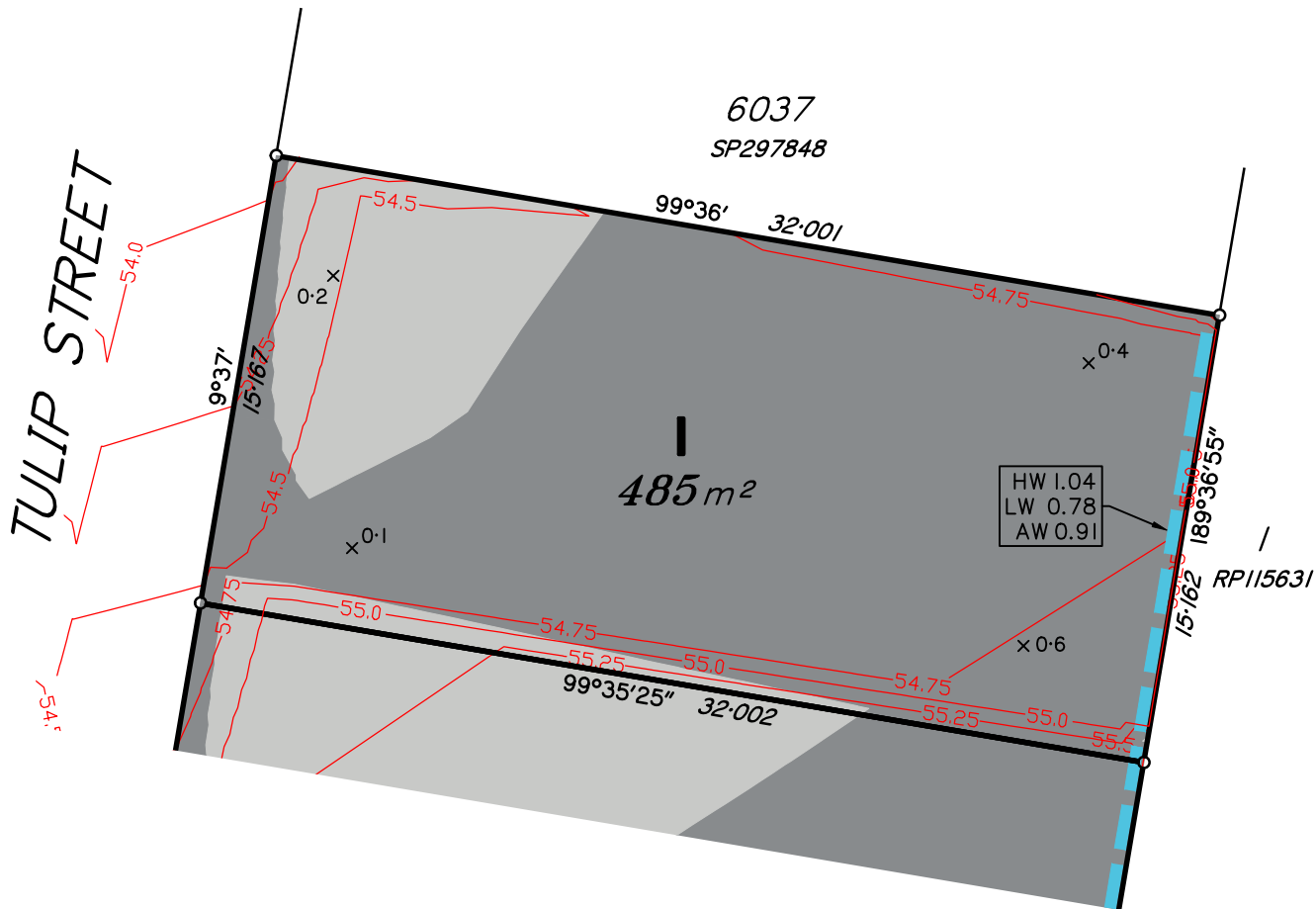
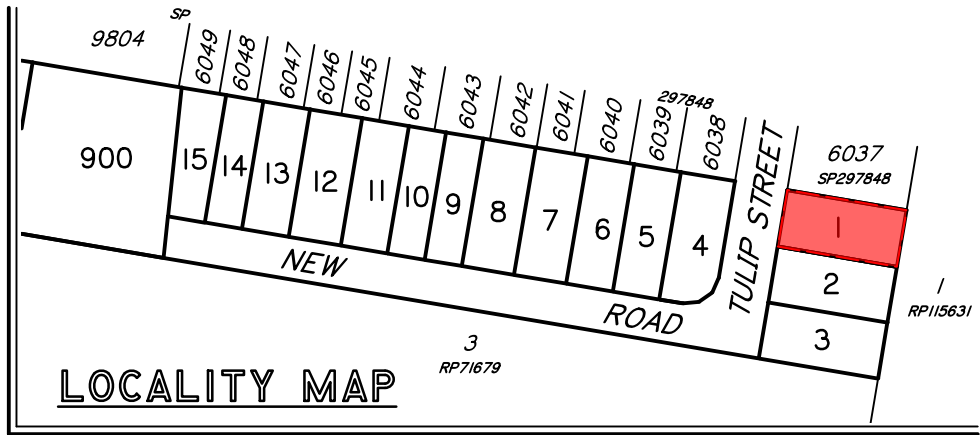
x 0.1 Cut/Fill, calculated between design and existing surface contours

Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19

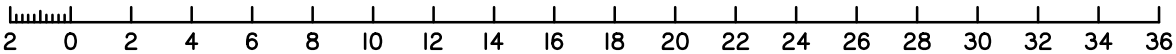
Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.

Meridian: MGA Zone 56 ☒ Yes ☐ No
Contour Height Datum: AHD



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No: A3–5875/ 1	Issue: A
Project: BNE190052	
File: BI90052Dis1.dwg	

DISCLOSURE PLAN
PROPOSED LOT 2

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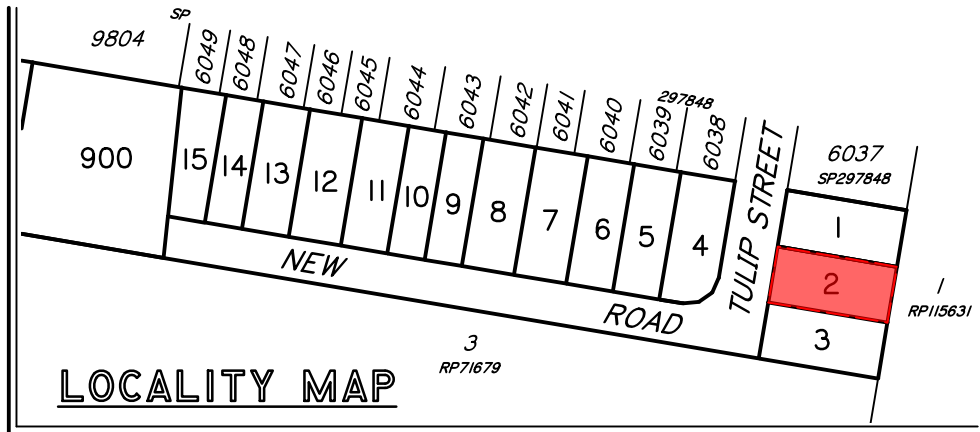
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0
LW 0.2
AW 0.6
- Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19
- Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.



**Cancelling part of Lot 8 on RP84459
Locality of Rochedale**

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Contour Interval – 0.25 metre

Design Contours
Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

HW 1.0	Height of Highest Point of Wall (Metres)
LW 0.2	Height of Lowest Point of Wall (Metres)
AW 0.6	Average Height of Wall (Metres)

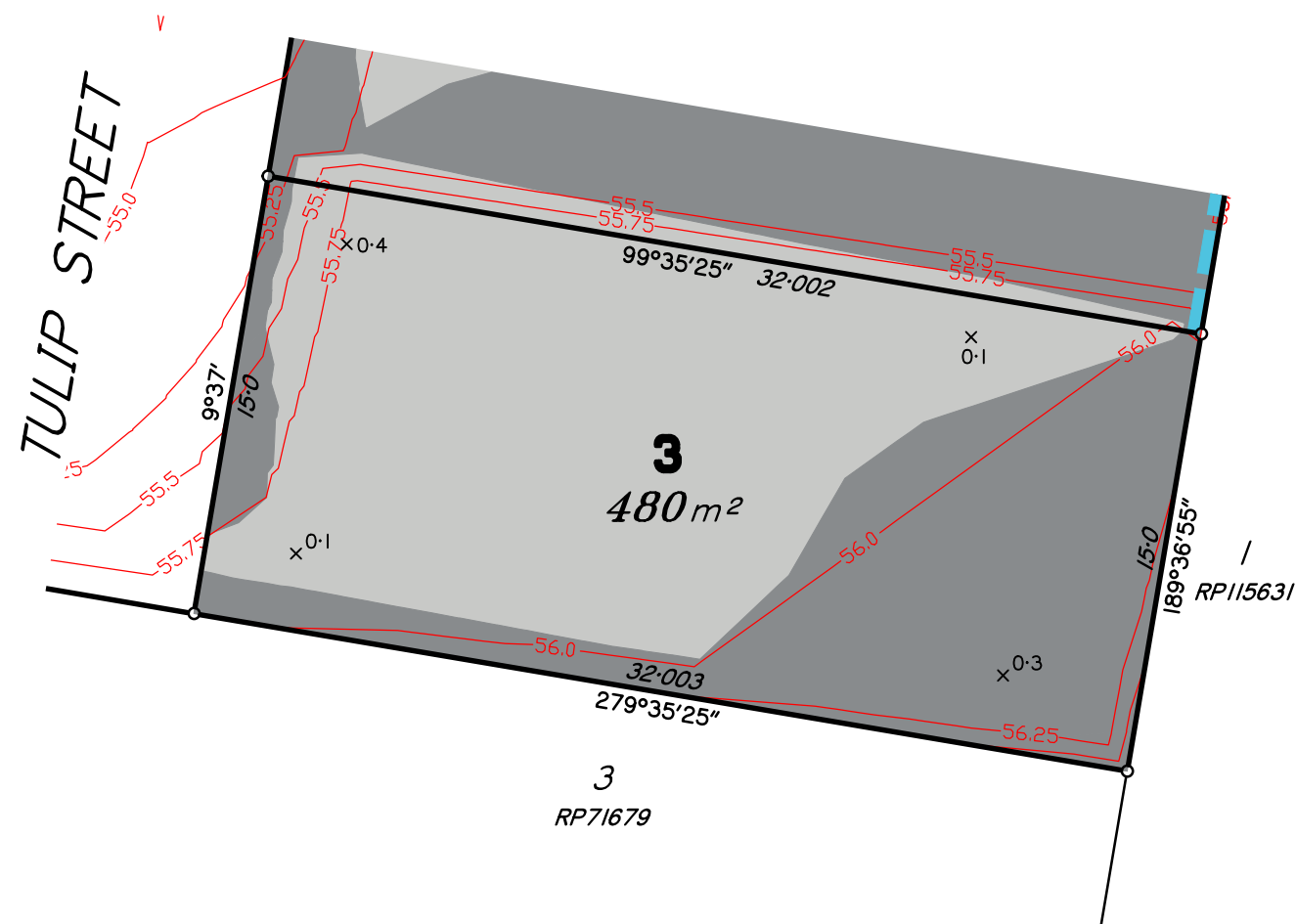
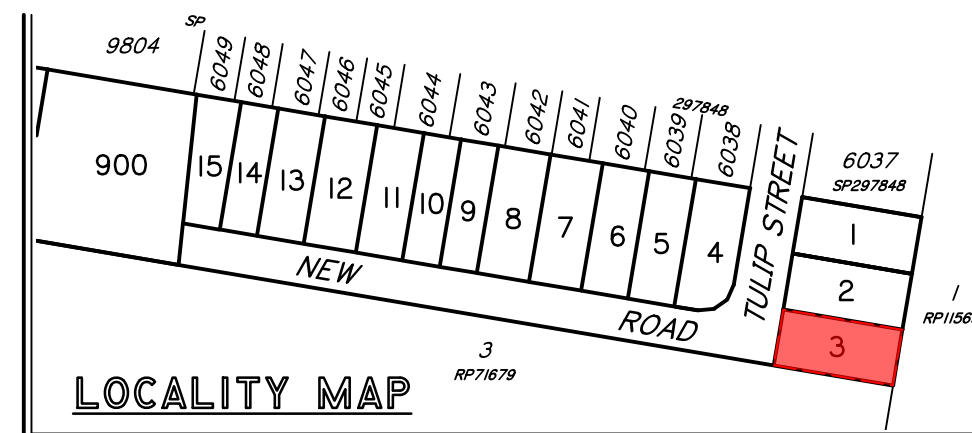
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x^{0.1} Cut/Fill, calculated between design and existing surface contours

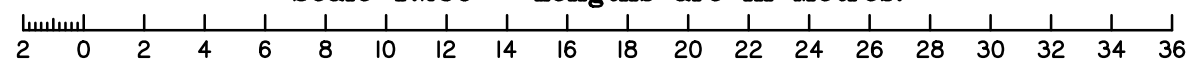
 Area to be Cut, as supplied by
PeakUrban Pty Ltd on 26/09/19

Area to be Filled, as supplied by
PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.



Scale 1:250 - Lengths are in Metres.



DISCLOSURE PLAN
PROPOSED LOT 4

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Locality of Rochedale

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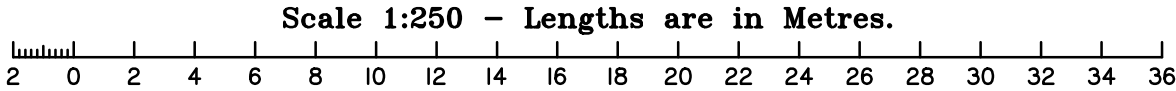
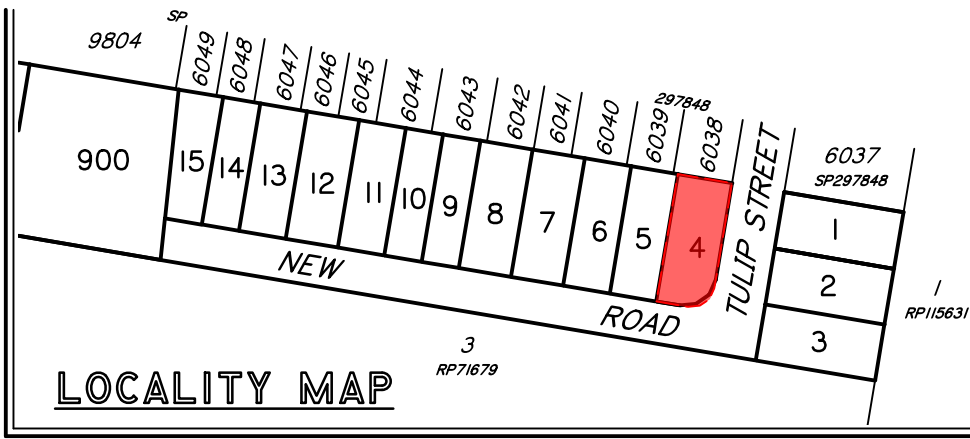
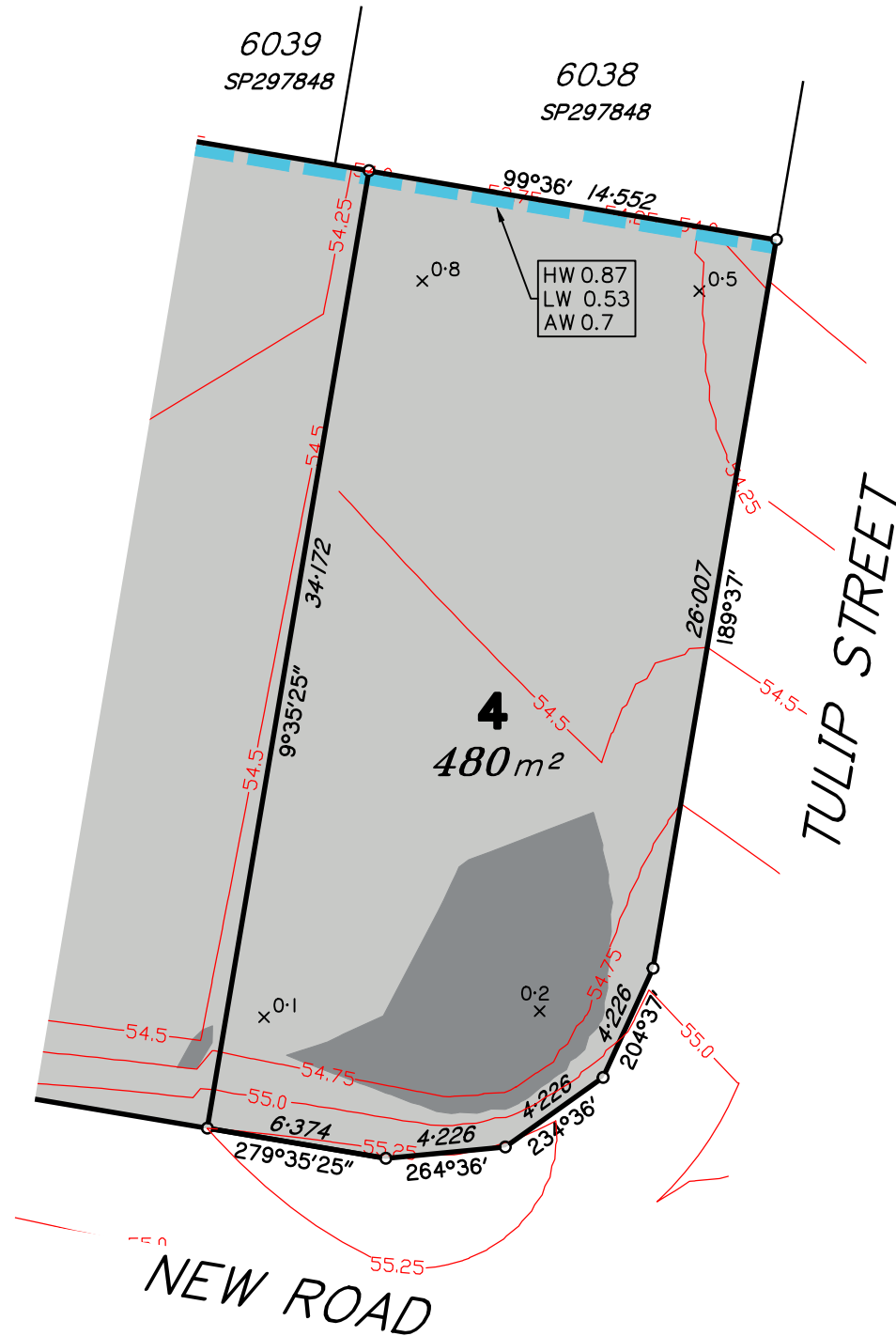
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0
LW 0.2
AW 0.6
- Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

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- Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19
- Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 ☒ Yes ☐ No Contour Height Datum: AHD

Urban planning, surveying & development

brisbane **macKay**

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Ph: 07 3118 0600 Ph: 1300 278 783
brisbane@dtsqld.com.au macKay@dtsqld.com.au

A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN

GARDNER ROAD DEVELOPMENTS PTY LTD

238 GARDNER ROAD, ROCHEDALE

Dwg No:	A3-5875/ 4	Issue:	A
Project:	BNE190052		
File:	BI90052Dis1.dwg		

DISCLOSURE PLAN
PROPOSED LOT 5

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Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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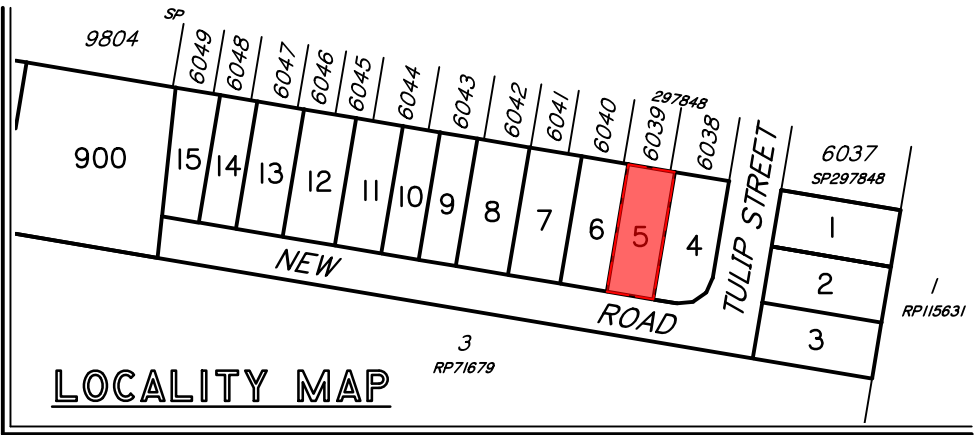
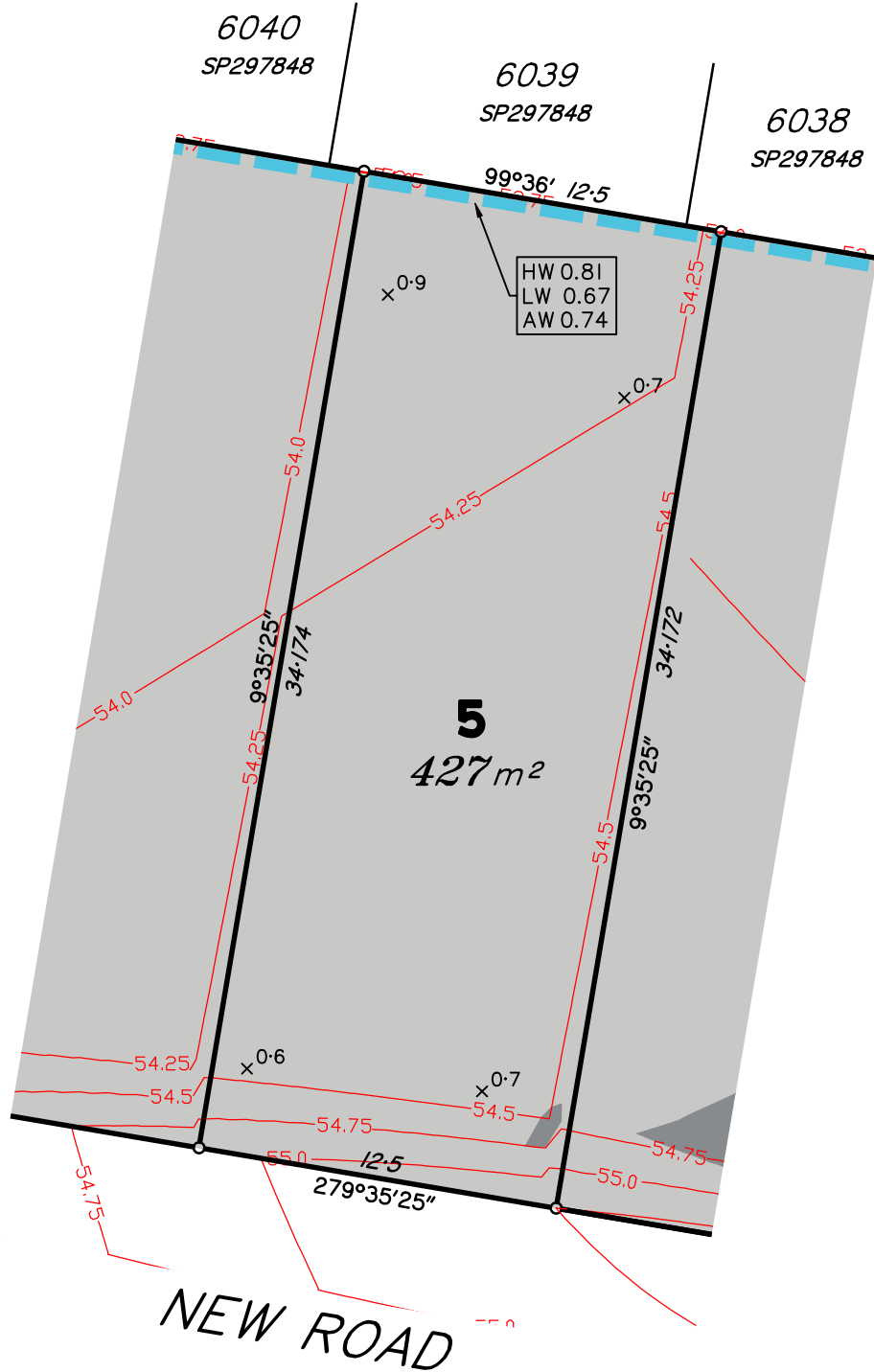
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0
LW 0.2
AW 0.6
- Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

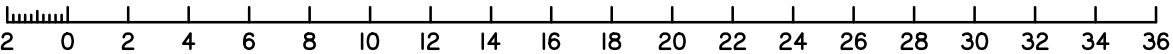
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Lot levels and earthworks derived from Engineering Drawings.



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No: A3–5875/ 5	Issue: A
Project: BNEI90052	
File: BI90052DisI.dwg	

DISCLOSURE PLAN
PROPOSED LOT 6

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Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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Contour Interval – 0.25 metre

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Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

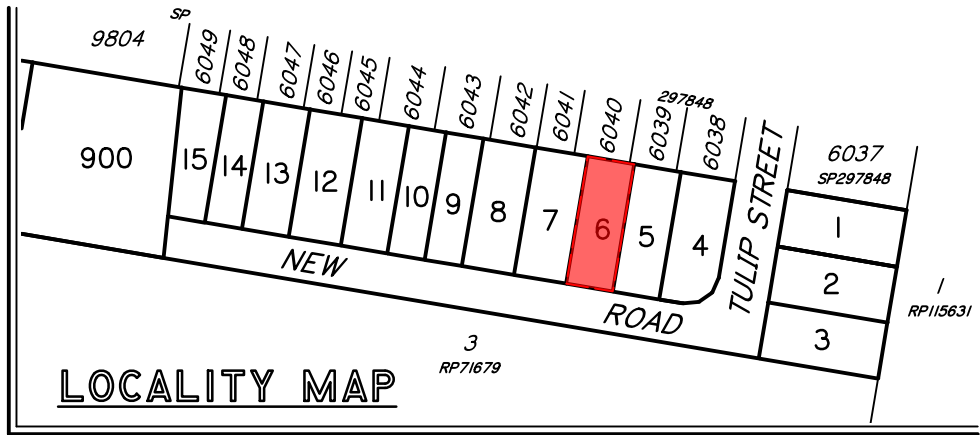
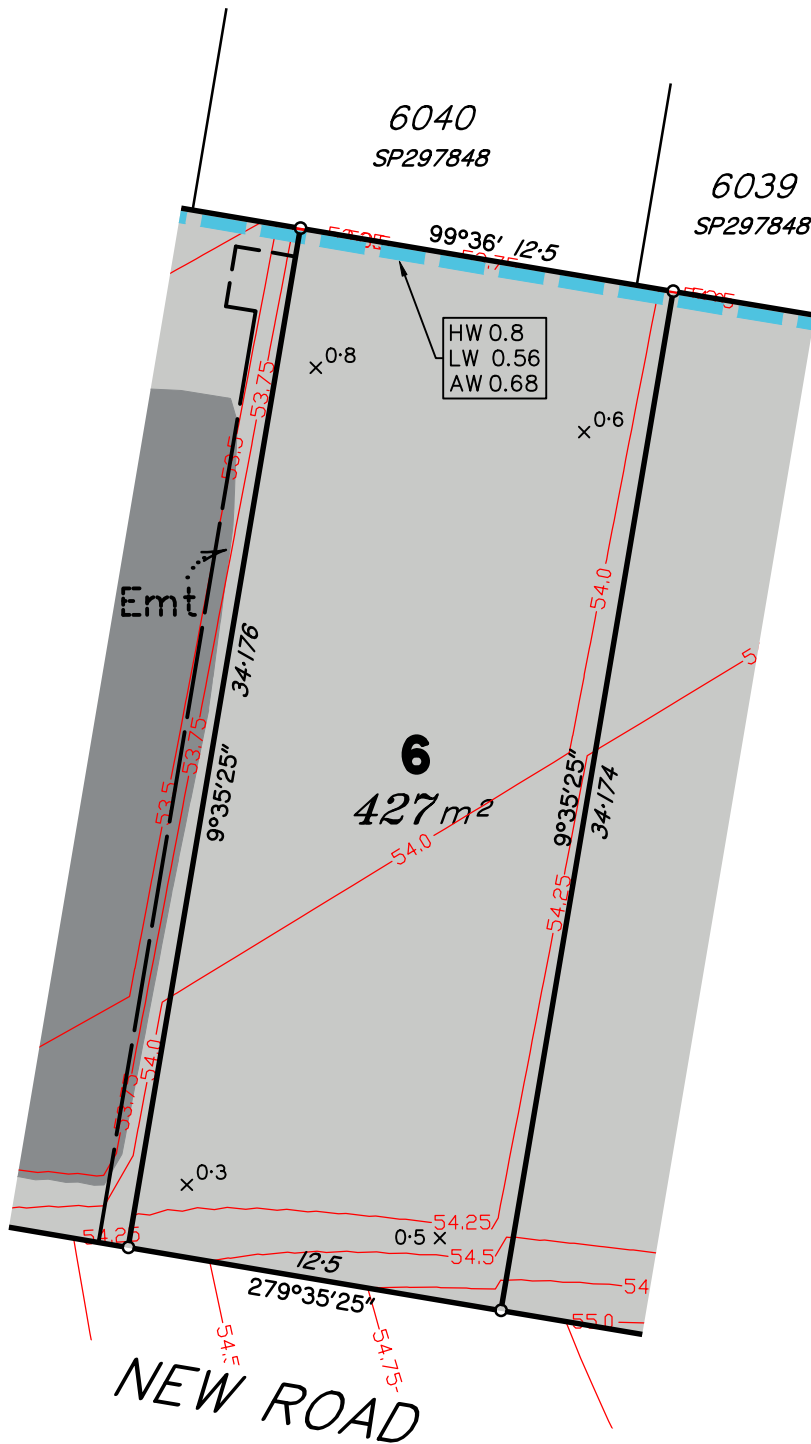
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- Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

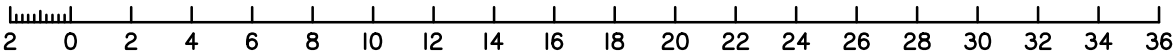
Lot levels and earthworks derived from Engineering Drawings.

Meridian: MGA Zone 56 ☒ Yes ☐ No
Contour Height Datum: AHD

dtS urban planning, surveying & development
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brisbane@dtsgld.com.au mackay@dtsgld.com.au



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	11/10/19	LS	AV	DISCLOSURE PLAN GARDNER ROAD DEVELOPMENTS PTY LTD 238 GARDNER ROAD, ROCHEDALE	Dwg No: A3–5875/ 6	Issue: A
						Project: BNE190052	File: BI90052Dis1.dwg
Issue	Details	Date	Drawn	Checked			

DISCLOSURE PLAN
PROPOSED LOT 7

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Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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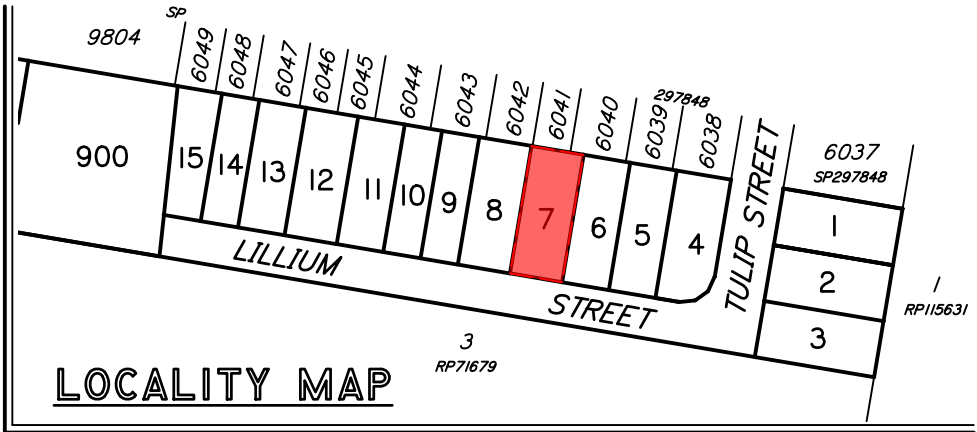
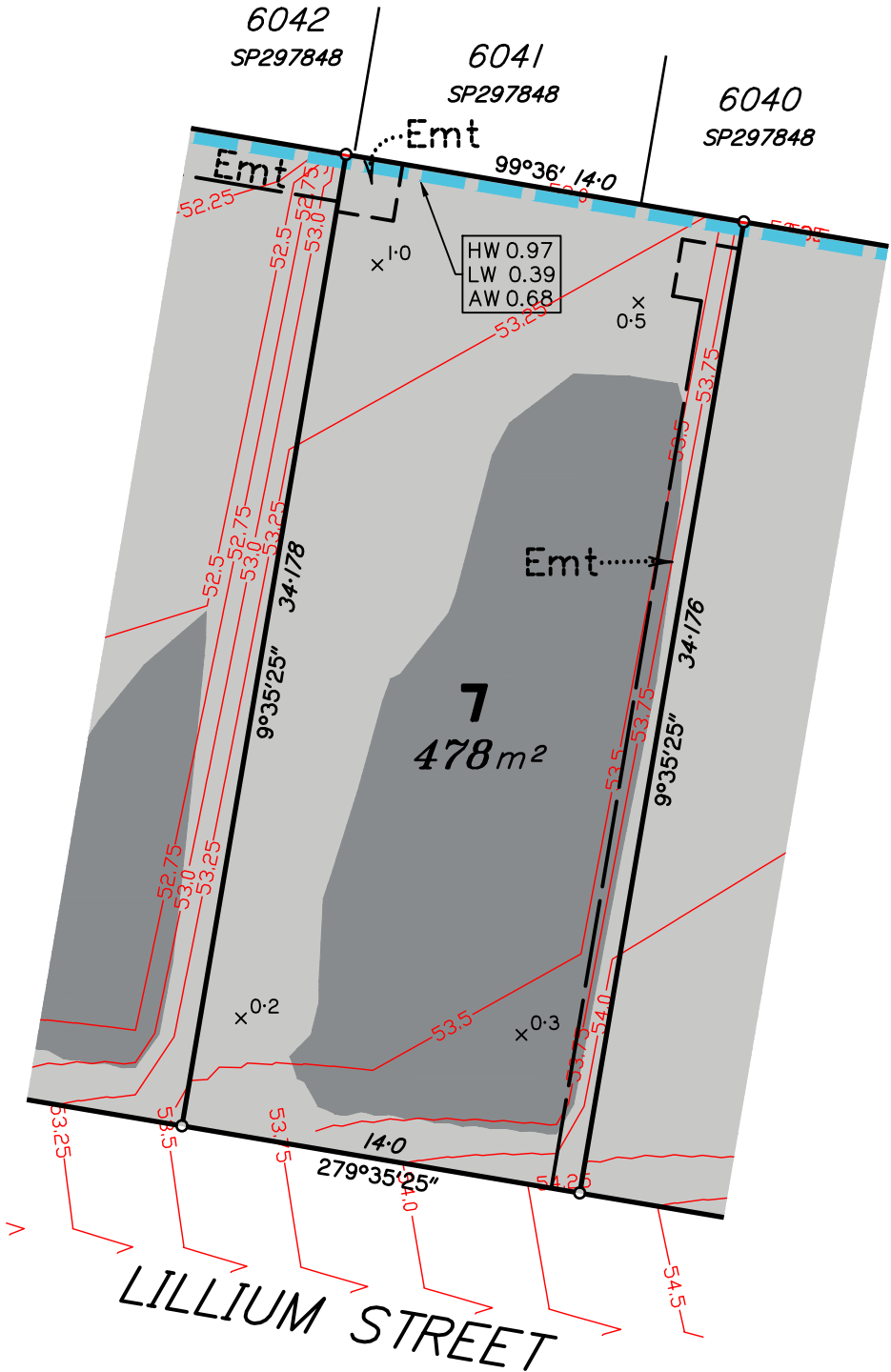
Contour Interval – 0.25 metre

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LW 0.2
AW 0.6
- Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

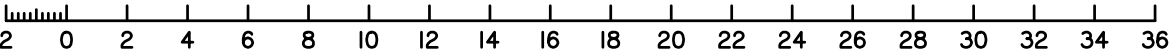
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Scale 1:250 – Lengths are in Metres.



B	EASEMENT SIZE AMENDED	01/07/20	AA	AV
A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No:	Issue:
A3–5875/7	B
Project:	
BNE190052	
File:	
B190052Dis1.dwg	

DISCLOSURE PLAN
PROPOSED LOT 8

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Locality of Rochedale

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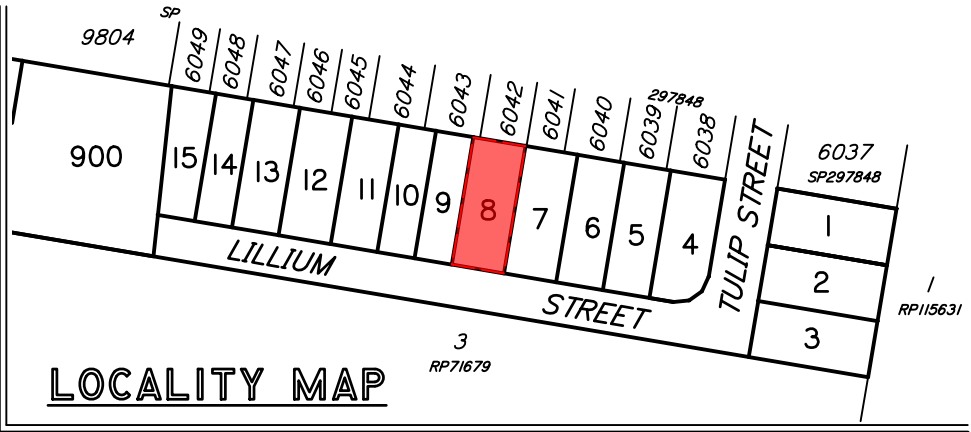
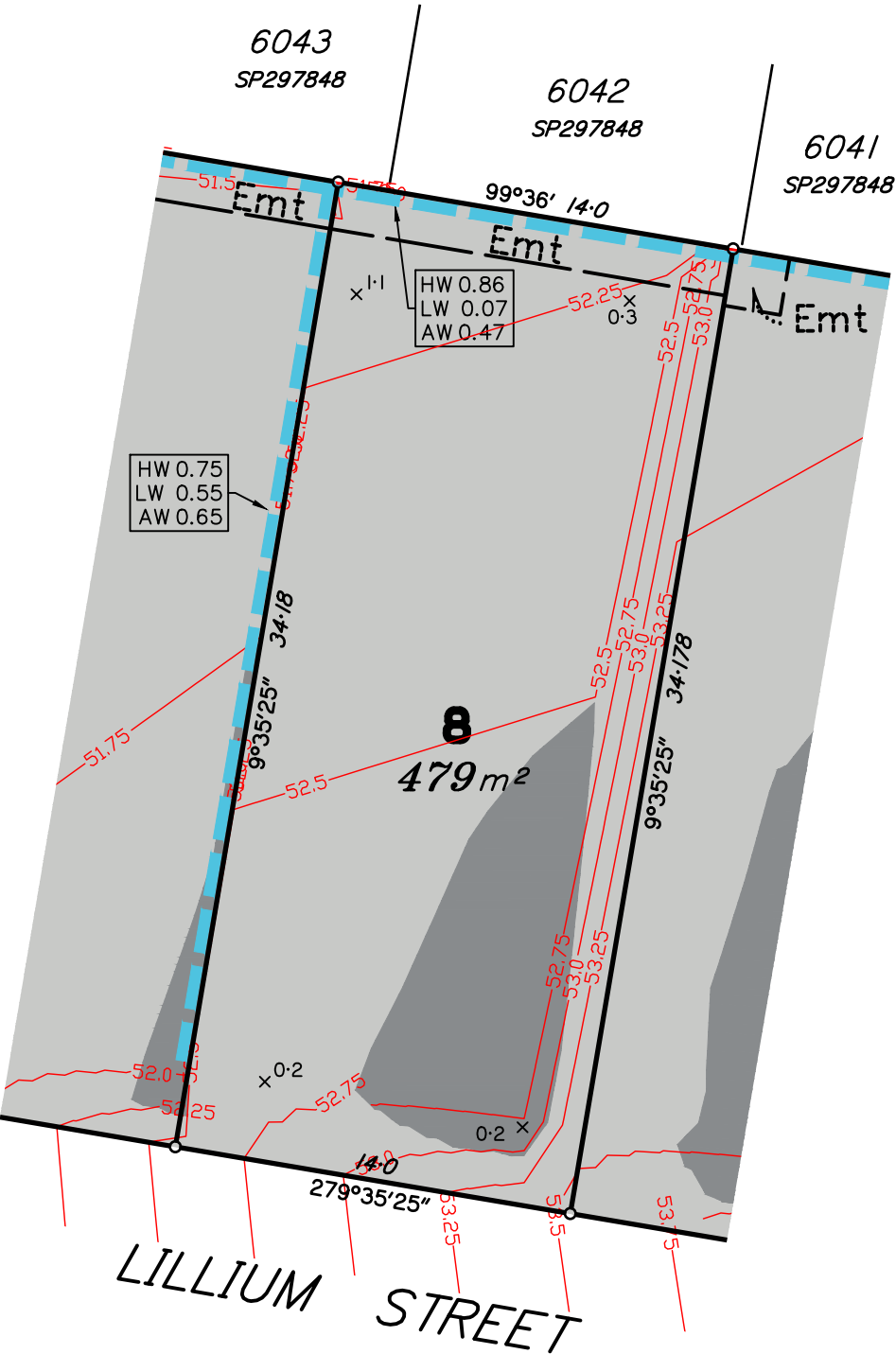
Contour Interval – 0.25 metre

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Average Height of Wall (Metres)

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Lot levels and earthworks derived from Engineering Drawings.



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2 0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36

Meridian: MGA Zone 56 ☒ Yes ☐ No Contour Height Datum: AHD

B	ADJOINING EASEMENT SIZE AMENDED	01/07/20	AA	AV
A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No: A3–5875/8	Issue: B
Project: BNE190052	
File: B190052Dis1.dwg	

DISCLOSURE PLAN
PROPOSED LOT 9

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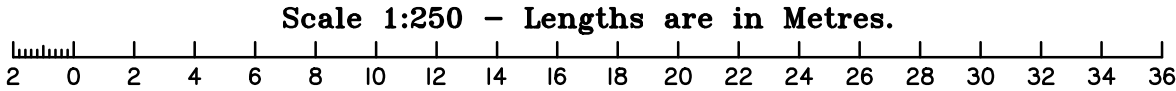
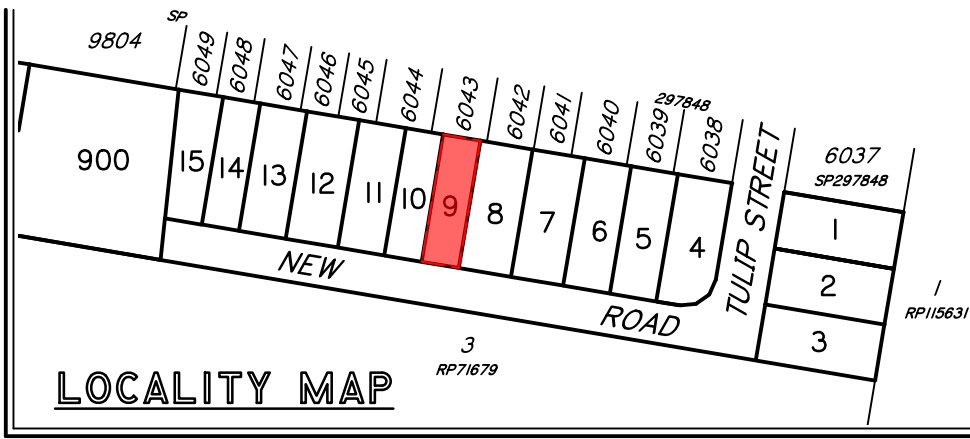
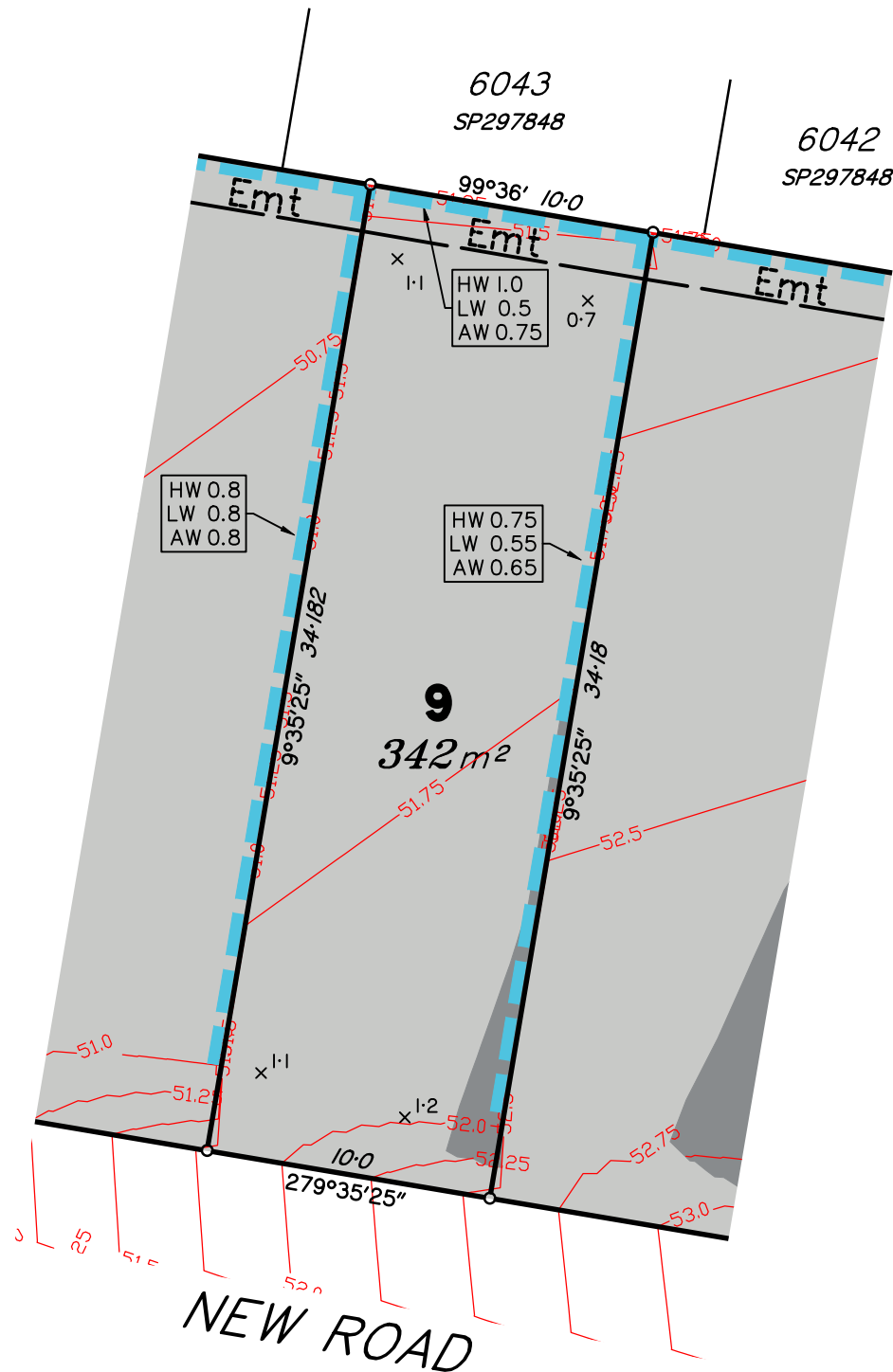
Contour Interval – 0.25 metre

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LW 0.2
AW 0.6
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Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

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Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 ☒ Yes ☐ No Contour Height Datum: AHD

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A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN

GARDNER ROAD DEVELOPMENTS PTY LTD

238 GARDNER ROAD, ROCHEDALE

Dwg No:	A3-5875/9	Issue:	A
Project:	BNE190052		
File:	BI90052Dis1.dwg		

DISCLOSURE PLAN
PROPOSED LOT 10

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Locality of Rochedale

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Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

HW 1.0
LW 0.2
AW 0.6

Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

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x 0.1 Cut/Fill, calculated between design and existing surface contours

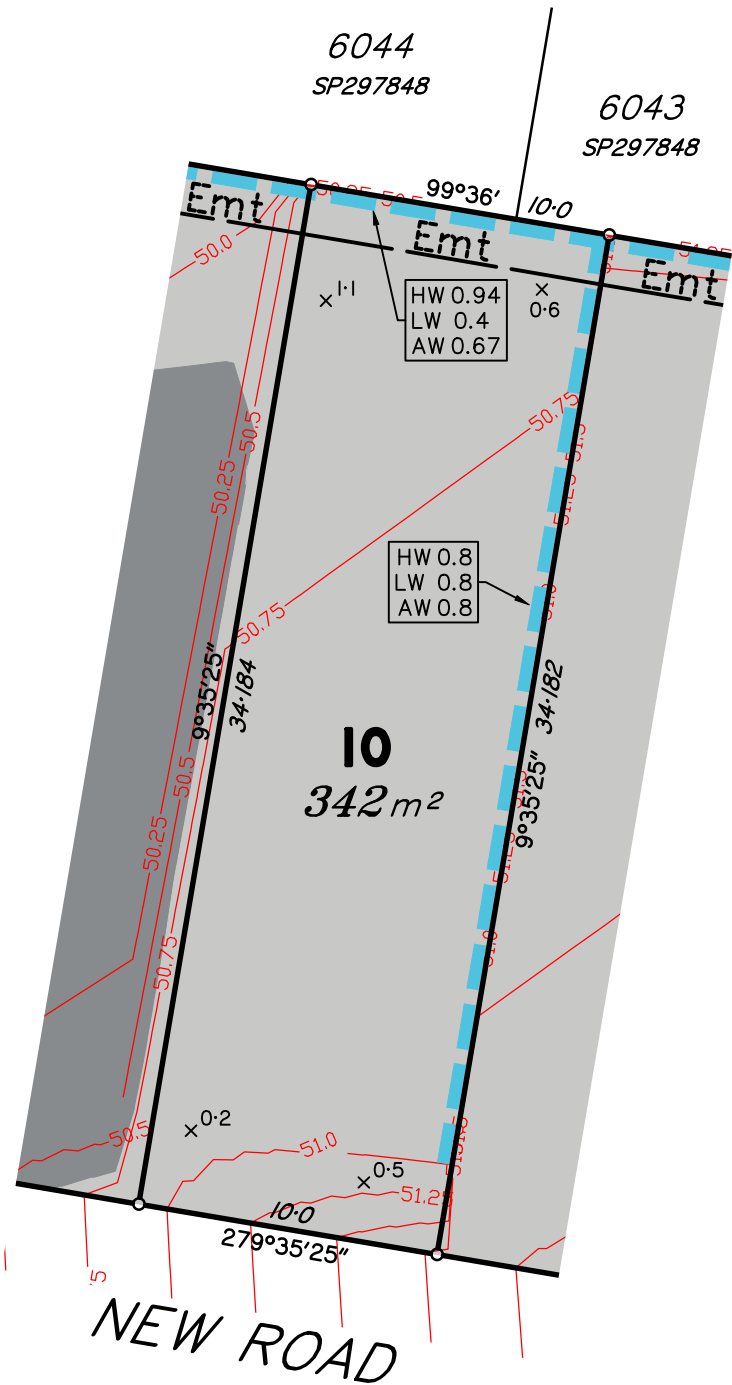
Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19

Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

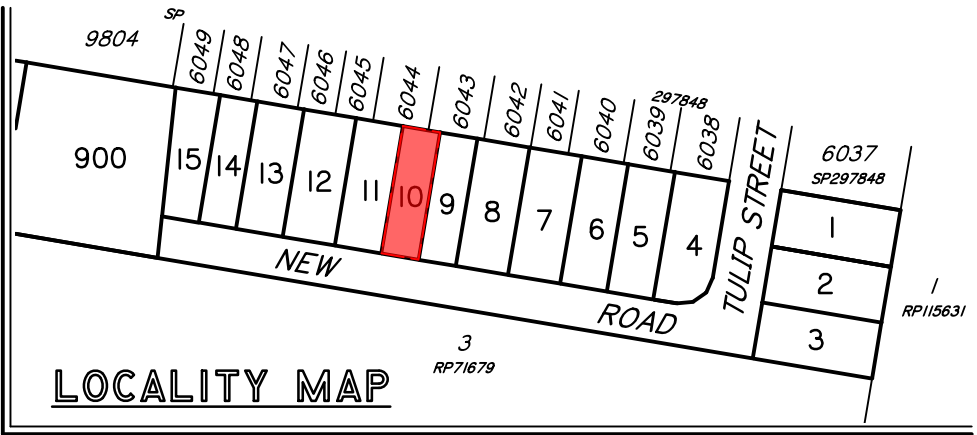
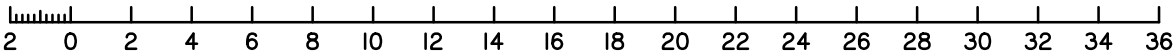
Lot levels and earthworks derived from Engineering Drawings.

Meridian: MGA Zone 56 ☒ Yes ☐ No
Contour Height Datum: AHD

dtS urban planning, surveying & development
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Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No: A3–5875/10	Issue: A
Project: BNE190052	
File: BI90052Dis1.dwg	

DISCLOSURE PLAN
PROPOSED LOT 11

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 8 on RP84459
Locality of Rochedale

- These notes form an integral part of this plan. No part of this plan may be reproduced without these notes being included.
- All dimensions and areas shown are subject to final survey and relevant local authority approval.
- This plan has been prepared for issue to a buyer as a disclosure plan under the Land Sales Act 1984. It is not to be used for any other purpose.
- Levels and contours shown on this plan are not to be used for building design or construction; a topographical survey of the site is required.
- Any engineering detail (retaining walls, etc.) shown on this plan is indicative only and subject to construction and relevant local authority approval.
- For further detail regarding services, facilities and features which may have relevance to the proposed lot, reference should be made to the Development Application approval conditions, the approved operational works drawings and current engineering drawings.

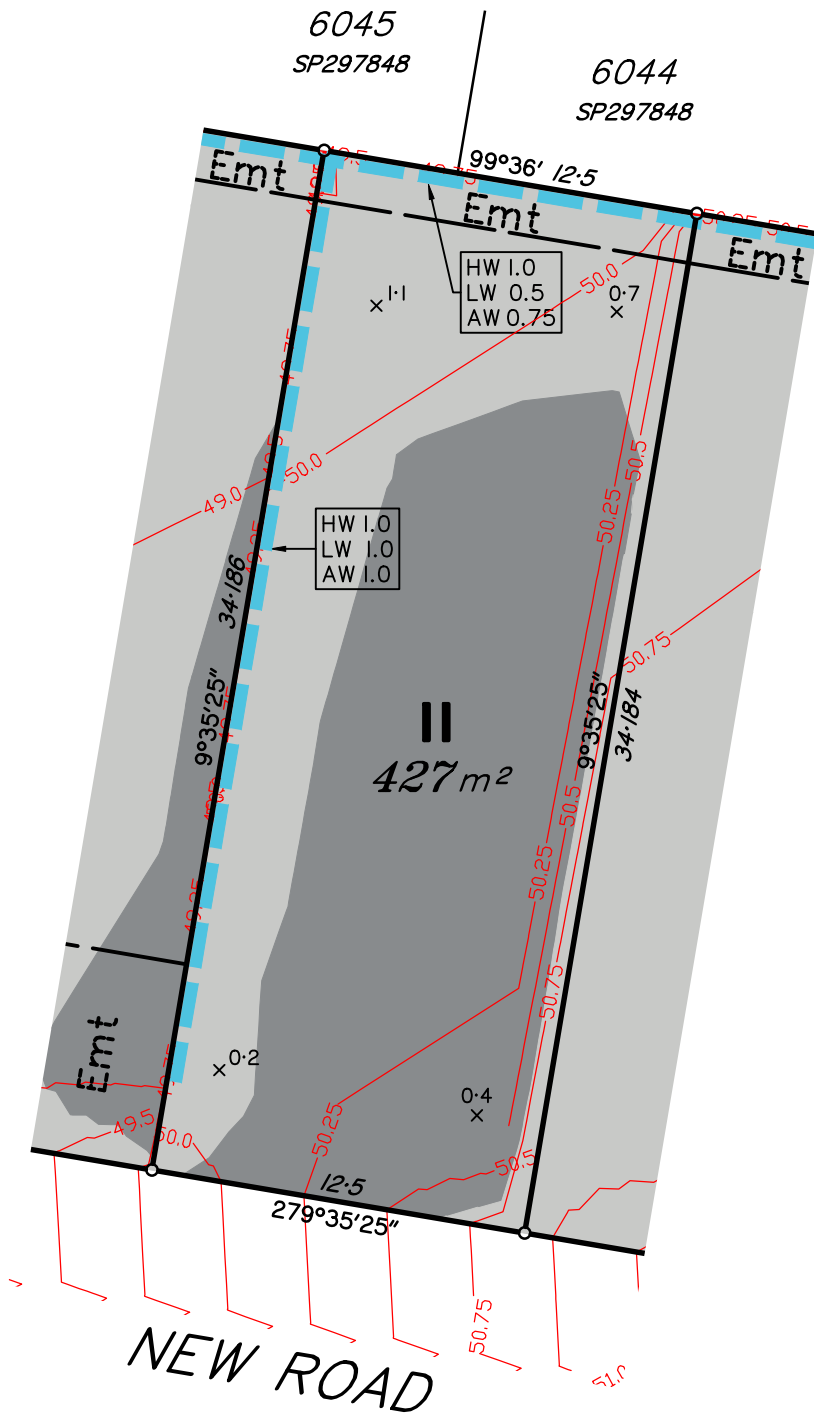
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0
LW 0.2
AW 0.6
- Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

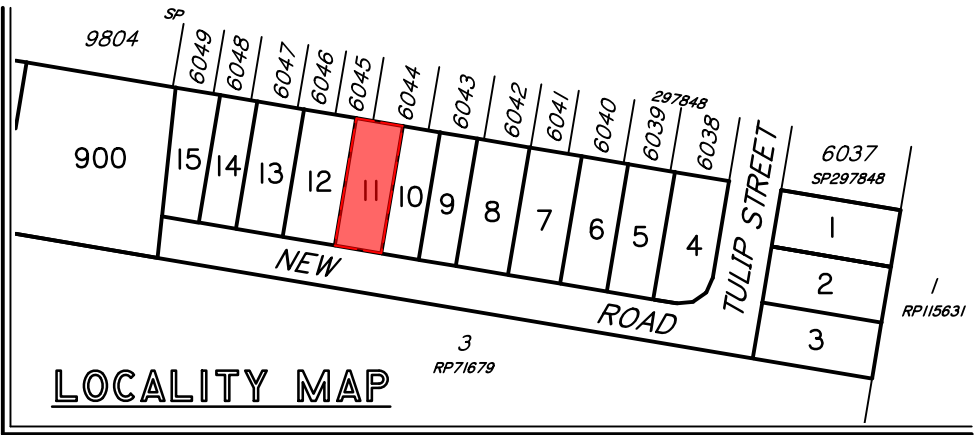
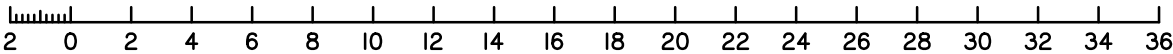
Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19
- Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.



Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 ☒ Yes ☐ No
Contour Height Datum: AHD

A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No: A3–5875/ 11	Issue: A
Project: BNE190052	
File: BI90052Dis1.dwg	

DISCLOSURE PLAN
PROPOSED LOT 12

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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2. All dimensions and areas shown are subject to final survey and relevant local authority approval.
3. This plan has been prepared for issue to a buyer as a disclosure plan under the Land Sales Act 1984. It is not to be used for any other purpose.
4. Levels and contours shown on this plan are not to be used for building design or construction; a topographical survey of the site is required.
5. Any engineering detail (retaining walls, etc.) shown on this plan is indicative only and subject to construction and relevant local authority approval.
6. For further detail regarding services, facilities and features which may have relevance to the proposed lot, reference should be made to the Development Application approval conditions, the approved operational works drawings and current engineering drawings.

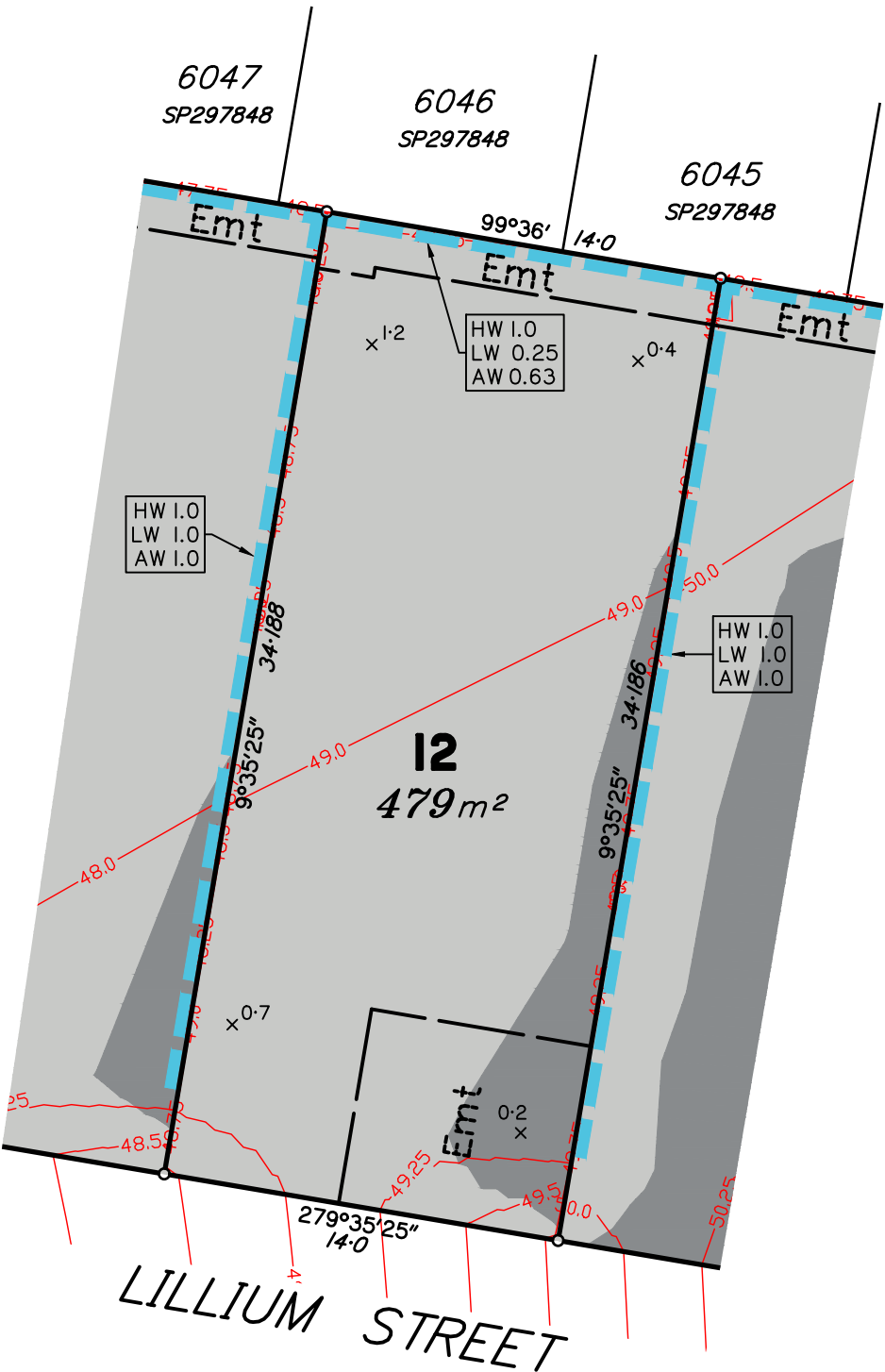
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0
LW 0.2
AW 0.6
- Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

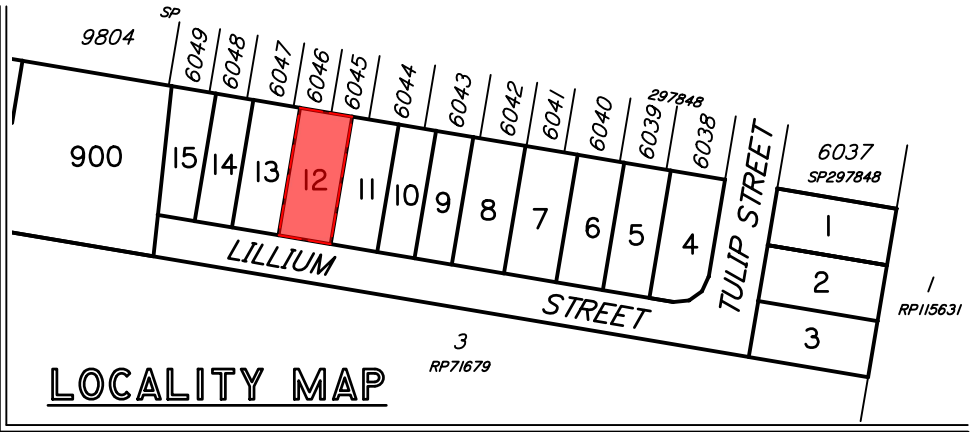
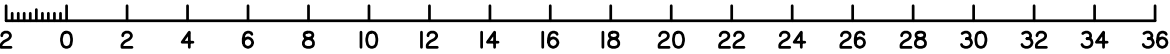
Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19
- Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.



Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 ☒ Yes ☐ No Contour Height Datum: AHD

C	EASEMENT SIZE AMENDED	01/07/20	AA	AV
B	EMT SIZE ALTERED	07/04/20	DR	AV
A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No:	Issue:
A3–5875/12	C
Project:	
BNE190052	
File:	
B190052Dis1.dwg	

DISCLOSURE PLAN
PROPOSED LOT 13

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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2. All dimensions and areas shown are subject to final survey and relevant local authority approval.
3. This plan has been prepared for issue to a buyer as a disclosure plan under the Land Sales Act 1984. It is not to be used for any other purpose.
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5. Any engineering detail (retaining walls, etc.) shown on this plan is indicative only and subject to construction and relevant local authority approval.
6. For further detail regarding services, facilities and features which may have relevance to the proposed lot, reference should be made to the Development Application approval conditions, the approved operational works drawings and current engineering drawings.

Contour Interval – 0.25 metre

Design Contours

Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

HW 1.0
LW 0.2
AW 0.6

Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level I inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

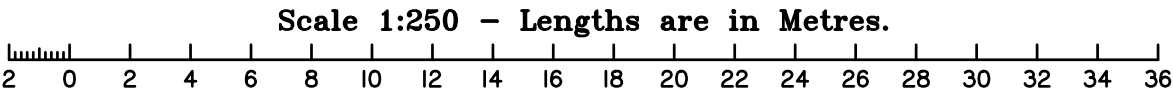
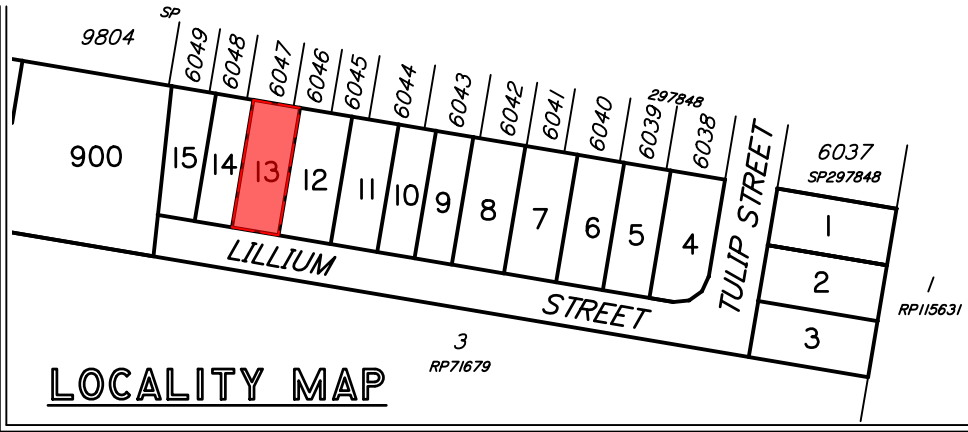
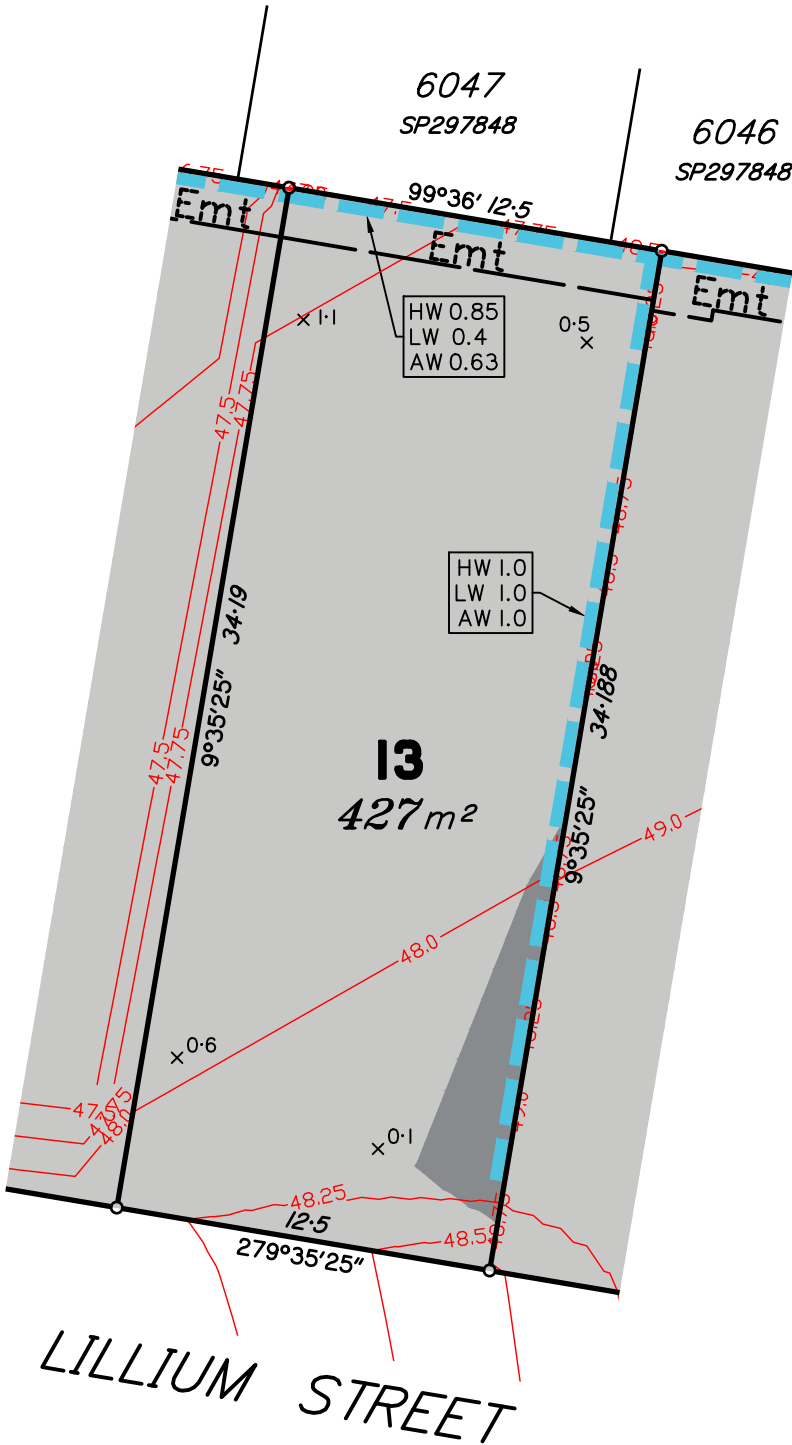
x 0.1

Cut/Fill, calculated between design and existing surface contours

Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19

Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.



Meridian: MGA Zone 56 ☒ Yes ☐ No Contour Height Datum: AHD

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B A	ADJOINING EASEMENT SIZE AMENDED ORIGINAL ISSUE	01/07/20 11/10/19	AA LS	AV AV	DISCLOSURE PLAN GARDNER ROAD DEVELOPMENTS PTY LTD 238 GARDNER ROAD, ROCHEDALE	Dwg No: A3–5875/ 13	Issue: B
						Project: BNE190052	File: B190052Dis1.dwg
Issue	Details	Date	Drawn	Checked			

DISCLOSURE PLAN
PROPOSED LOT 14

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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Contour Interval – 0.25 metre

Design Contours
Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)

HW 1.0
LW 0.2
AW 0.6
Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

x 0.1 Cut/Fill, calculated between design and existing surface contours

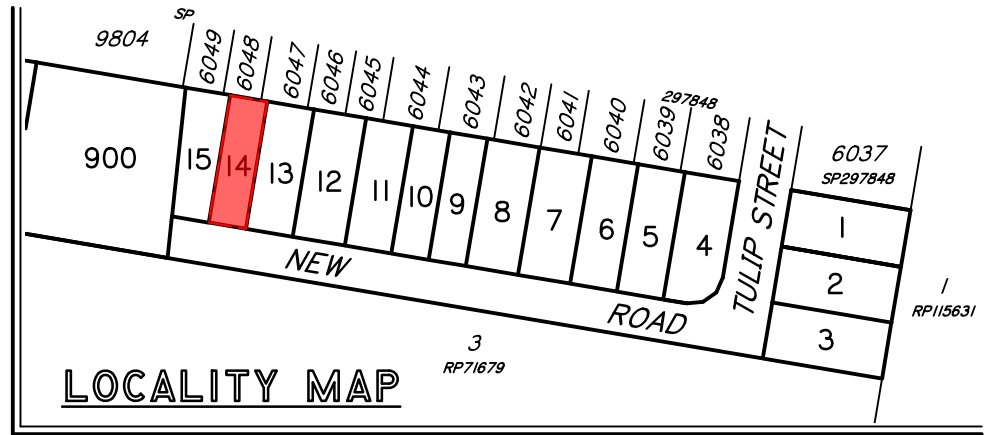
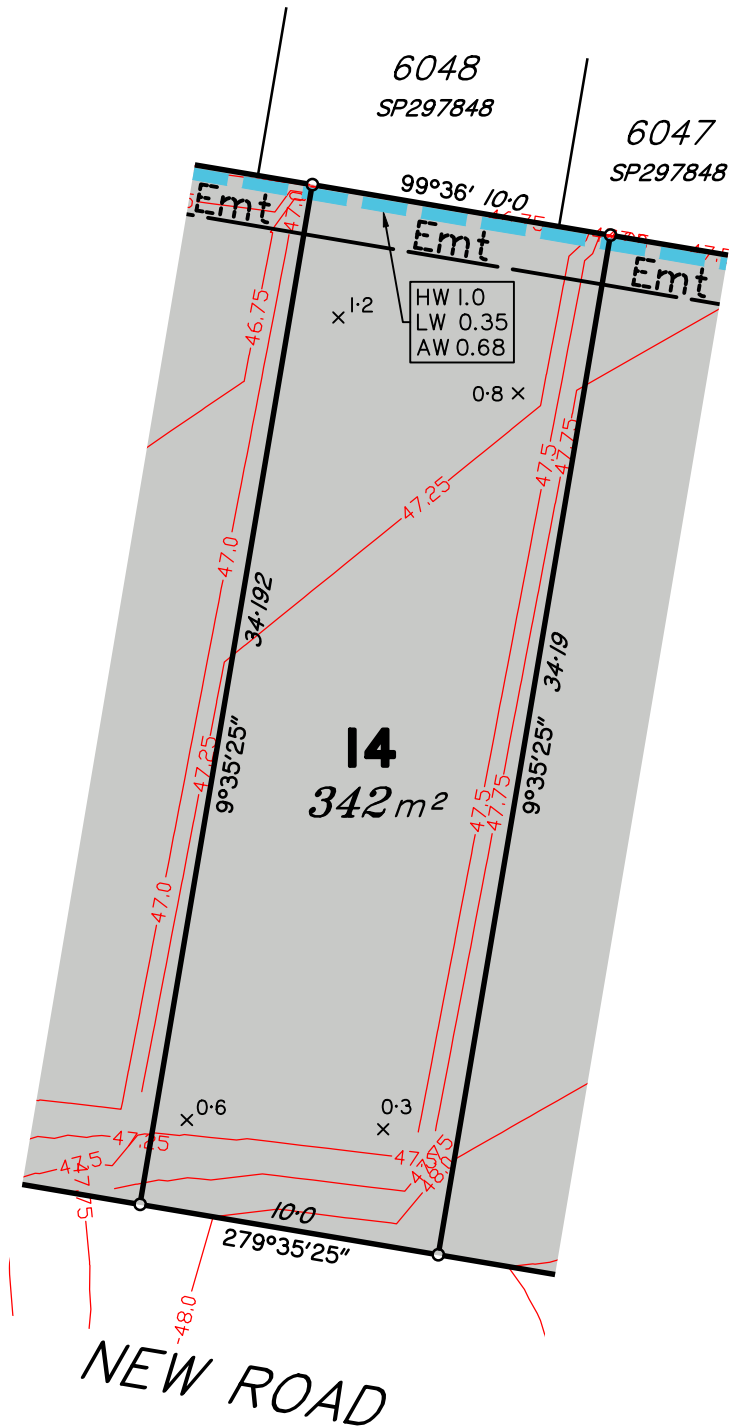
Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19

Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

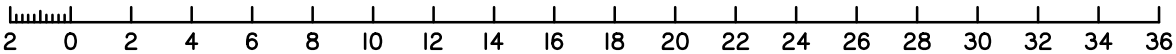
Lot levels and earthworks derived from Engineering Drawings.

Meridian: MGA Zone 56 ☒ Yes ☐ No
Contour Height Datum: AHD

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brisbane@dtsgld.com.au mackay@dtsgld.com.au



Scale 1:250 – Lengths are in Metres.



A	ORIGINAL ISSUE	11/10/19	LS	AV	DISCLOSURE PLAN GARDNER ROAD DEVELOPMENTS PTY LTD 238 GARDNER ROAD, ROCHEDALE	Dwg No: A3–5875/14	Issue: A
						Project: BNEI90052	
						File: BI90052DisI.dwg	
Issue	Details	Date	Drawn	Checked			

DISCLOSURE PLAN
PROPOSED LOT 15

This plan is to be read in conjunction with the disclosure statement prepared for this lot.

Cancelling part of Lot 8 on RP84459
Locality of Rochedale

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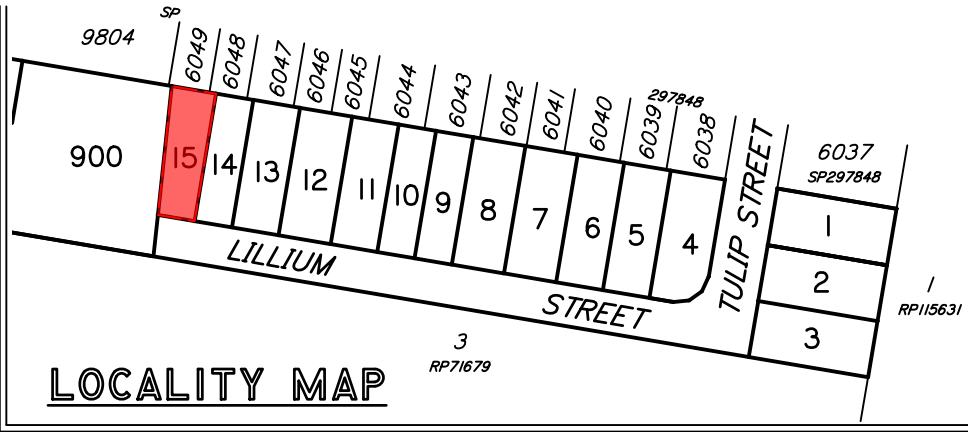
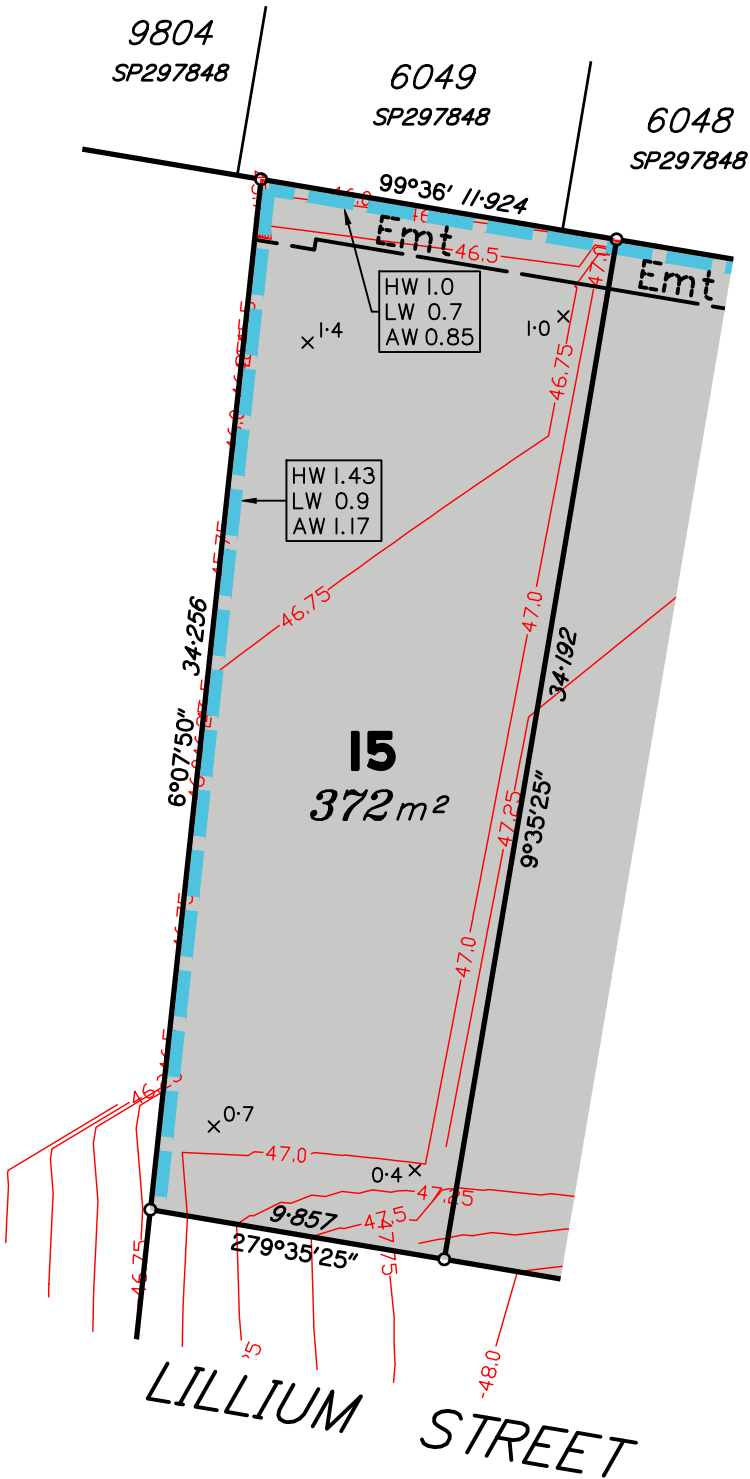
Contour Interval – 0.25 metre

- Design Contours
- Retaining Wall (Due to plotting limitations the retaining walls shown are not to scale and are indicative only)
- HW 1.0
LW 0.2
AW 0.6
- Height of Highest Point of Wall (Metres)
Height of Lowest Point of Wall (Metres)
Average Height of Wall (Metres)

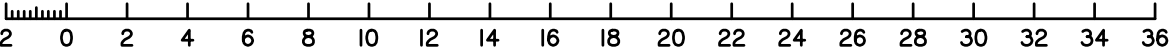
Compaction of fill will be done in accordance with Australian Standard AS 3798–2007, under Level 1 inspection and testing by the nominated Geotechnical Inspection and Testing Authority.

- x 0.1 Cut/Fill, calculated between design and existing surface contours
- Area to be Cut, as supplied by PeakUrban Pty Ltd on 26/09/19
- Area to be Filled, as supplied by PeakUrban Pty Ltd on 26/09/19

Lot levels and earthworks derived from Engineering Drawings.



Scale 1:250 – Lengths are in Metres.



Meridian: MGA Zone 56 ☒ Yes ☐ No
Contour Height Datum: AHD

B	EASEMENT SIZE AMENDED	01/07/20	AA	AV
A	ORIGINAL ISSUE	11/10/19	LS	AV
Issue	Details	Date	Drawn	Checked

DISCLOSURE PLAN
GARDNER ROAD DEVELOPMENTS PTY LTD
238 GARDNER ROAD, ROCHEDALE

Dwg No:	A3–5875/ 15	Issue:	B
Project:	BNE190052		
File:	B190052Dis1.dwg		